

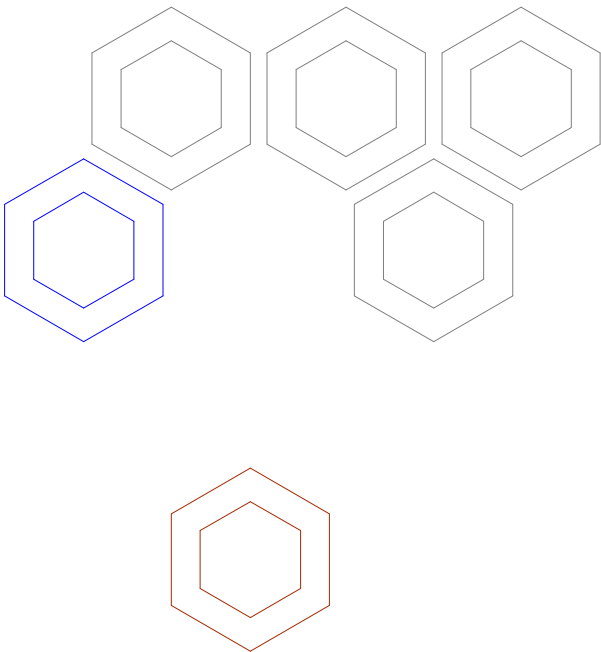
DEVELOPMENT APPLICATION

DRAWING SCHEDULE

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ISSUE DETAILS

A 24.07.2024 ISSUED FOR DEVELOPMENT APPLICATION



ADDITIONAL INFORMATION

A01	OWNER'S CONSENT FORM
A02	SURVEY PLAN
A03	BASIX & NATHERS CERTIFICATION
A04	STORMWATER PLAN
A05	LANDSCAPE PLAN
A06	STATEMENT OF ENVIRONMENTAL EFFECTS
A07	WASTE MANAGEMENT PLAN
A08	COST SUMMARY REPORT
A09	QUANTITY SURVEYORS REPORT

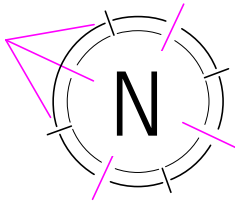


PROPOSED TWO STOREY DWELLING

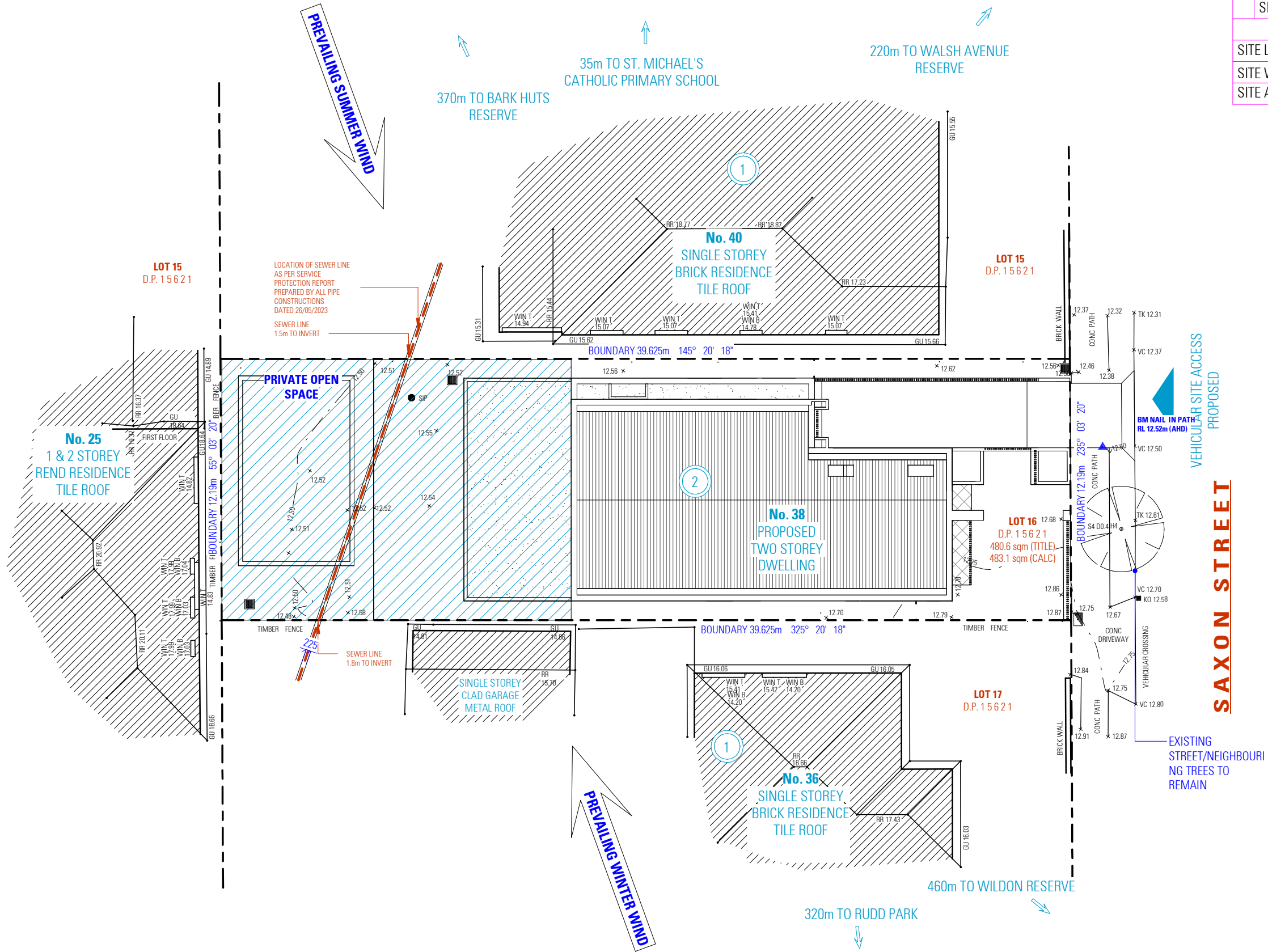
38 SAXON STREET,
BELFIELD NSW 2191

BILL MALLOUHI





KEY	ITEM	SYMBOL
	NUMBER OF STOREYS	①/②
	POSSIBLE OVERLOOKING	
	PRIVATE OPEN SPACE	
	REDUCED LEVELS	
	SITE	
SITE DETAILS		
SITE LENGTH (APPROX.)		39 m
SITE WIDTH (APPROX.)		12 m
SITE AREA		483.1 m²



SITE ANALYSIS PLAN

NOT FOR CONSTRUCTION

NOTES

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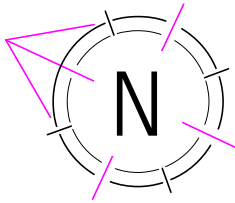
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SITE ANALYSIS PLAN

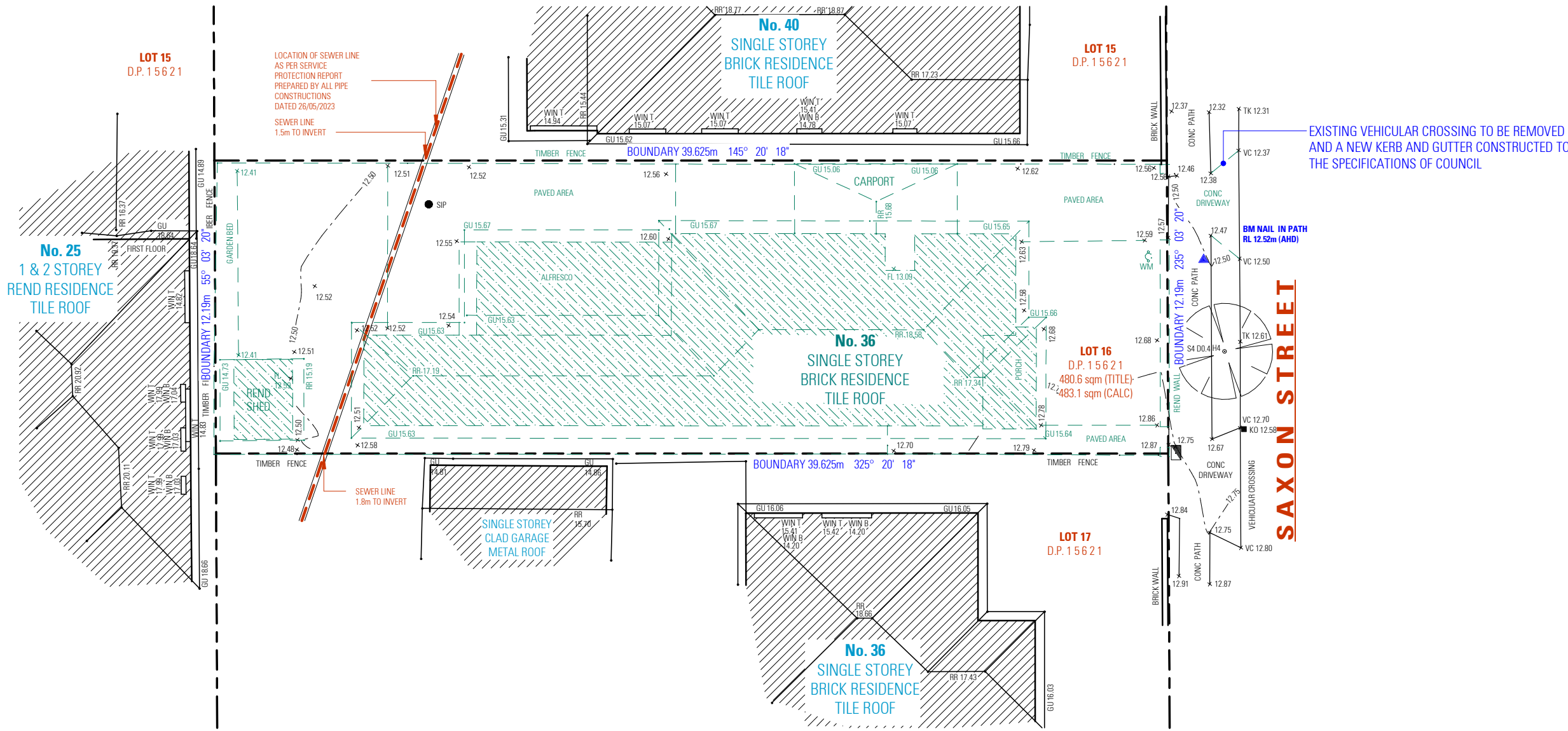
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SITE LEGEND	
ITEM	SYMBOL
STRUCTURE TO BE DEMOLISHED	
ITEMS TO BE REMOVED	

- DEMOLITION NOTES**
- EXISTING VEHICULAR CROSSING TO BE REMOVED, A NEW VEHICULAR CROSSING TO BE CONSTRUCTED TO THE SPECIFICATIONS OF COUNCIL
 - ALL DEMOLITION AND WASTE MATERIALS TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE ACCOMPANYING WASTE MANAGEMENT PLAN, AND AUSTRALIAN STANDARD 2601.2001
 - ALL NECESSARY PERMITS ARE TO BE OBTAINED FROM COUNCIL BY THE NOMINATED CONTRACTOR PRIOR TO ANY WORKS
 - ANY HAZARDOUS MATERIAL FOUND ON SITE IS TO BE REMOVED IN ACCORDANCE WITH RELEVANT LEGISLATION, BUILDING CODES, AUSTRALIAN STANDARDS AND WORK COVER GUIDELINES.



DEMOLITION PLAN

NOT FOR CONSTRUCTION

- NOTES**
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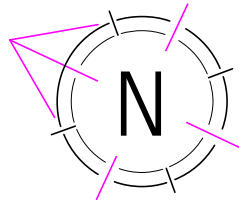
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DEMOLITION PLAN

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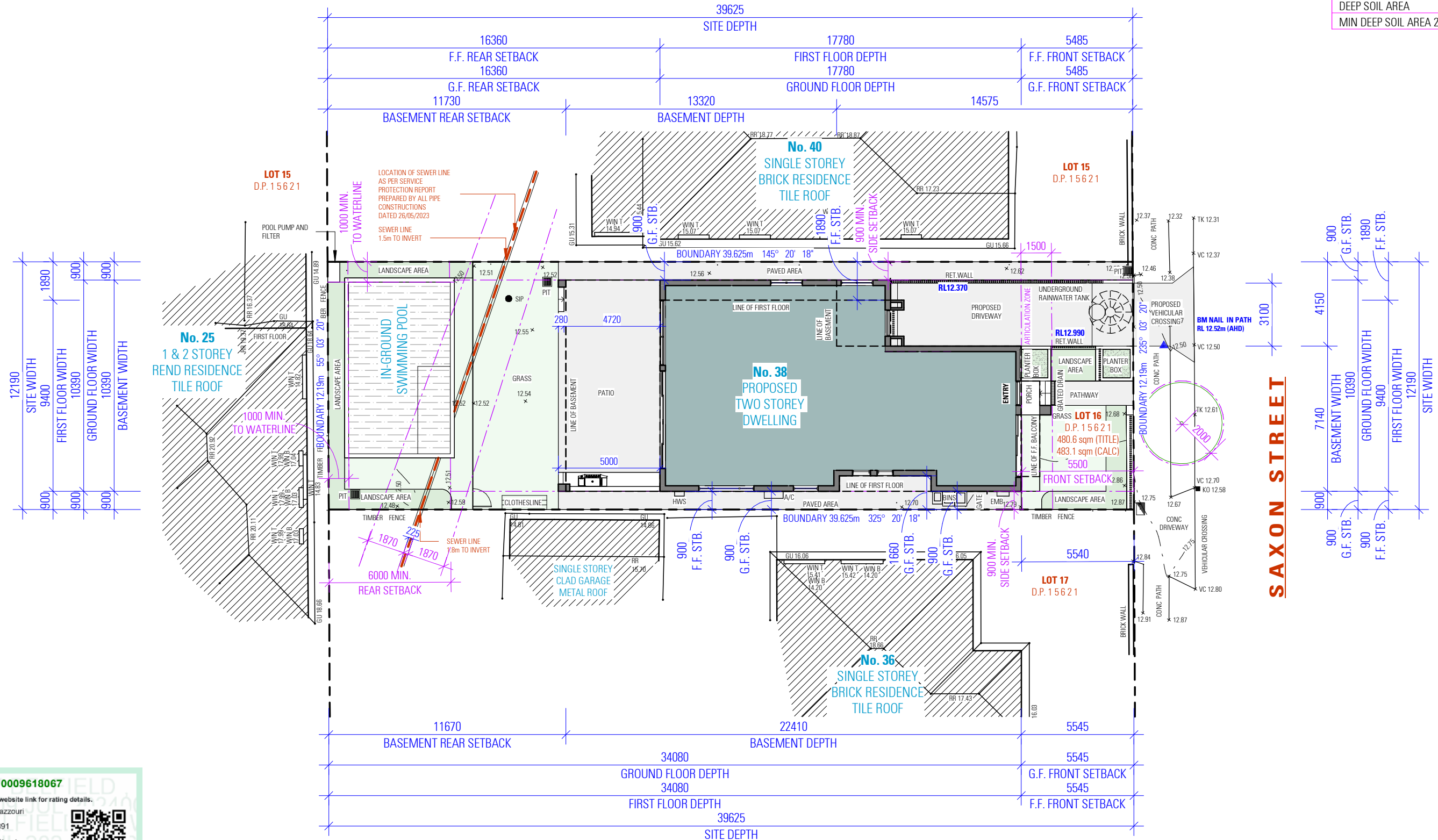


NOTES:

- REFER TO LANDSCAPE PLAN FOR DETAILS
- REFER TO STORMWATER PLAN FOR STORMWATER DETAILS / SEDIMENT AND EROSION CONTROL PLAN
- REFER TO STRUCTURAL PLAN FOR RETAINING WALL DETAILS
- REFER TO STORMWATER PLAN AND BASIX REPORT FOR RAINWATER TANK DETAILS
- ALL BOUNDARY FENCING TO BE MAINTAINED OR CONSTRUCTED AT A HEIGHT OF 1800mm ABOVE NGL

SITE CALCULATIONS

SITE AREA	483.1 sqm
GROUND FLOOR AREA	131.24sqm
FIRST FLOOR AREA	115.76sqm
TOTAL FLOOR AREA	247.00sqm
FLOOR SPACE RATIO	0.51:1
MAX FLOOR SPACE RATIO	0.55:1
SITE COVERAGE	215.83 sqm
MAX SITE COVERAGE (50%)	241.55sqm
IMPERVIOUS AREA	338.43sqm
DEEP SOIL AREA	105.81sqm
MIN DEEP SOIL AREA 20%	96.62sqm



PROPOSED SITE PLAN

NOT FOR CONSTRUCTION

Certificate No. 0009618067

Scan QR code or follow website link for rating details.

Assessor name Noura Al Hazzouri

Accreditation No. DMN/18/1891

Property Address 38 Saxon Street
BELFIELD
NSW,2191

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SITE LEGEND	
ITEM	SYMBOL
GROUND FLOOR AREA	
LINE OF FIRST FLOOR	
SITE BOUNDARY	

NOTES

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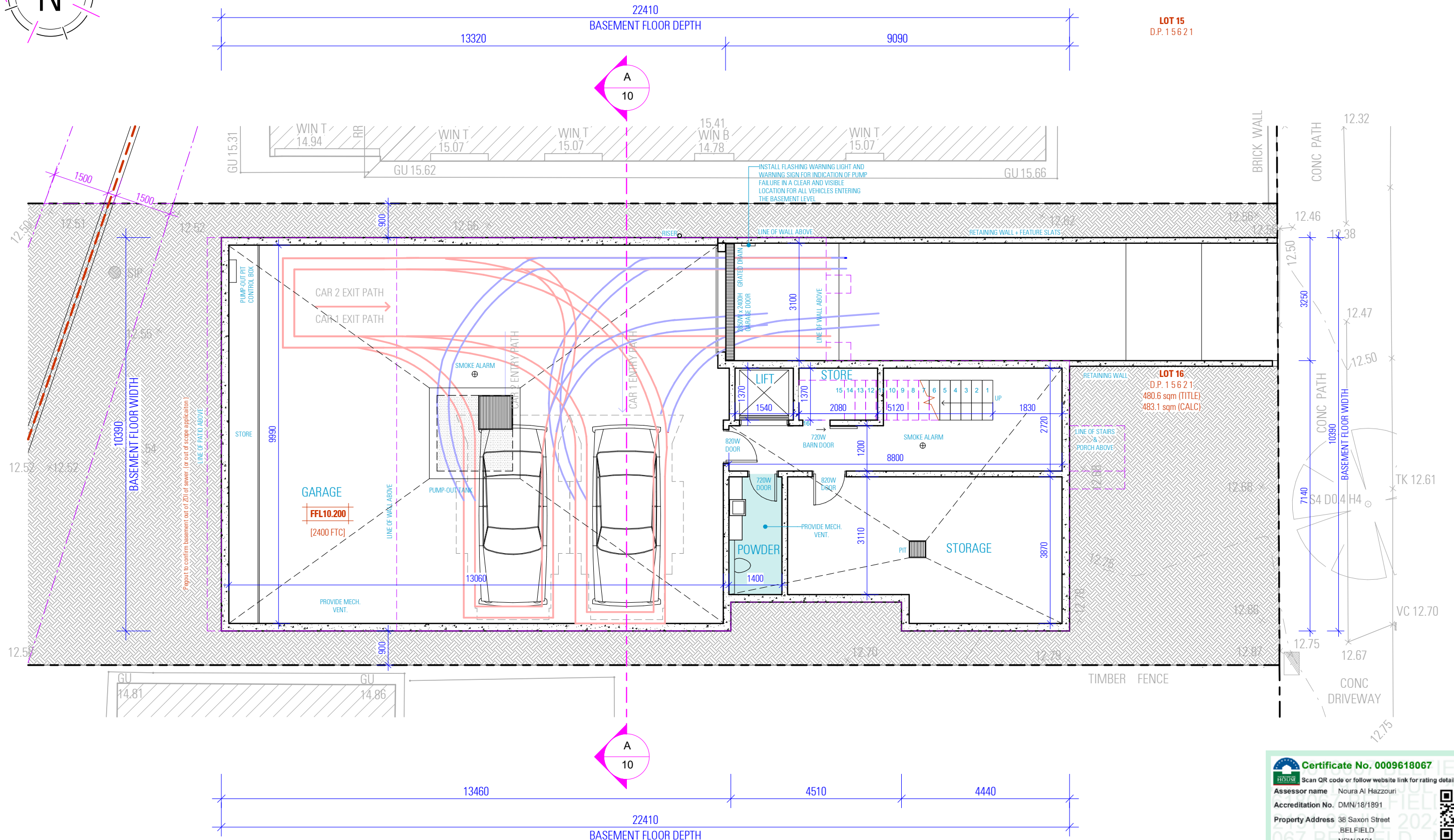
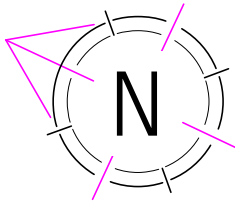
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PROPOSED SITE PLAN

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LOT 15
D.P. 156 21

LOT 16
D.P. 156 21
480.6 sqm (TITLE)
483.1 sqm (CALC)



NOT FOR CONSTRUCTION

NOTES:

- HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.5
- EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY (OR VIA A SHAFT OR DUCT) TO OUTDOOR AIR OR A VENTILATED ROOF SPACE IN ACCORDANCE WITH PART 3.8.7

NOTES

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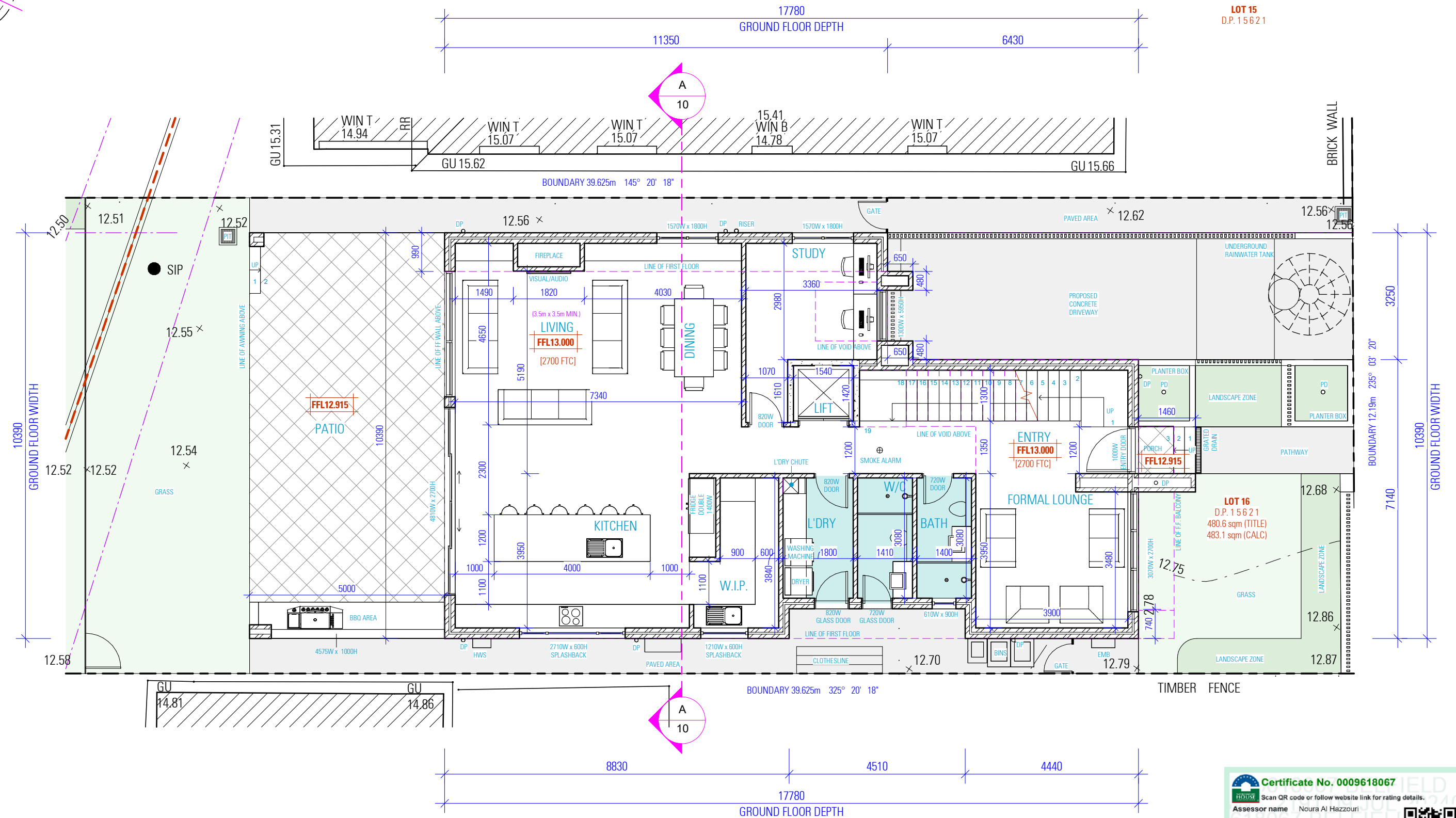
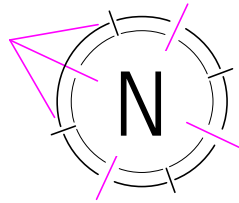
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PROPOSED BASEMENT FLOOR PLAN

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ISSUE A 24.07.2024

DWG No. 22276 - 04



PROPOSED GROUND FLOOR PLAN

NOTES:

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NOTES

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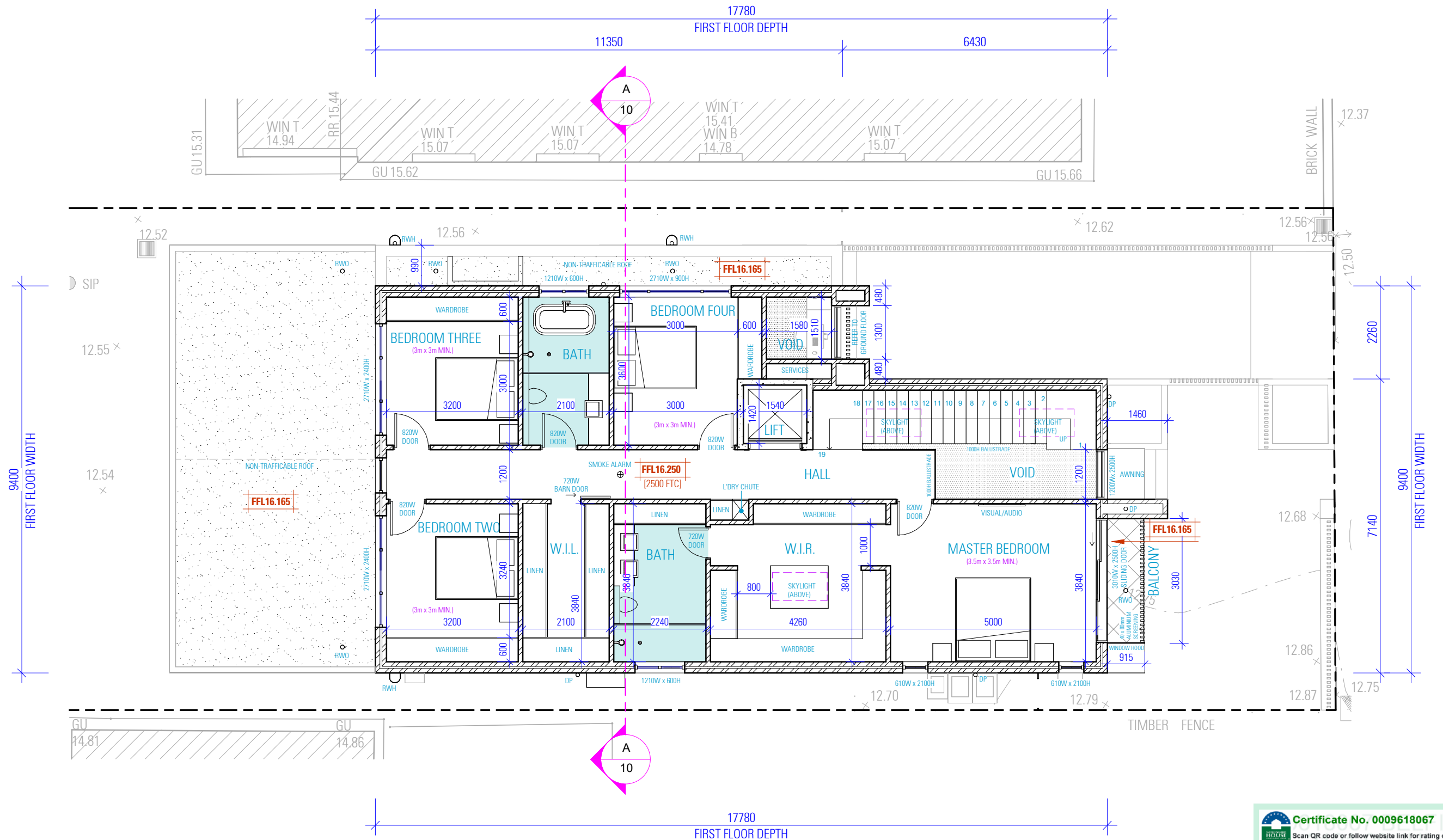
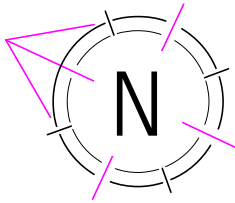
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PROPOSED GROUND FLOOR PLAN

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PROPOSED FIRST FLOOR PLAN

NOTES:

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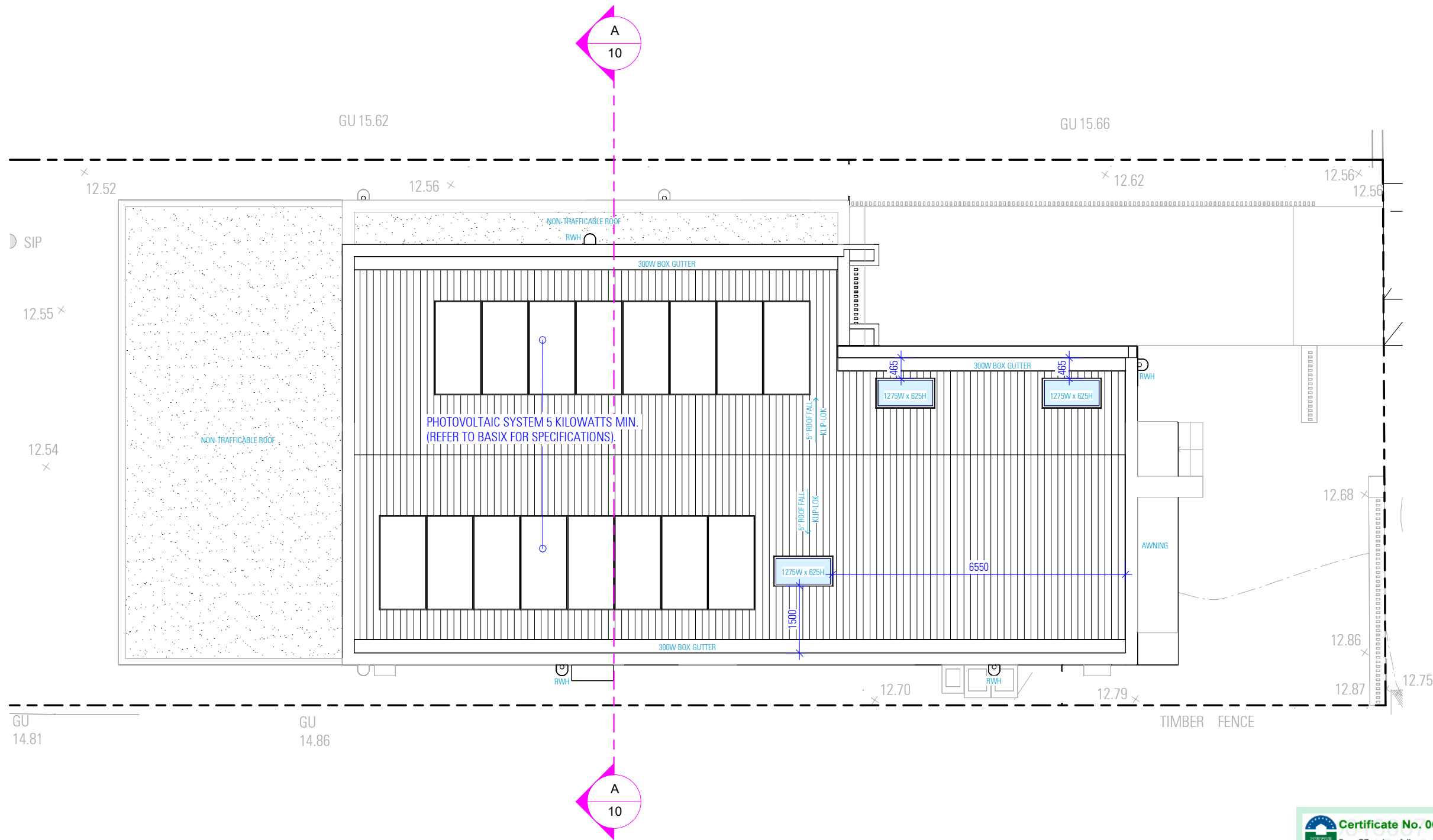
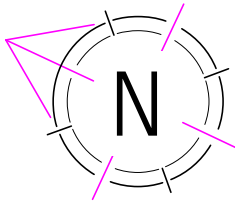
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PROPOSED ROOF PLAN



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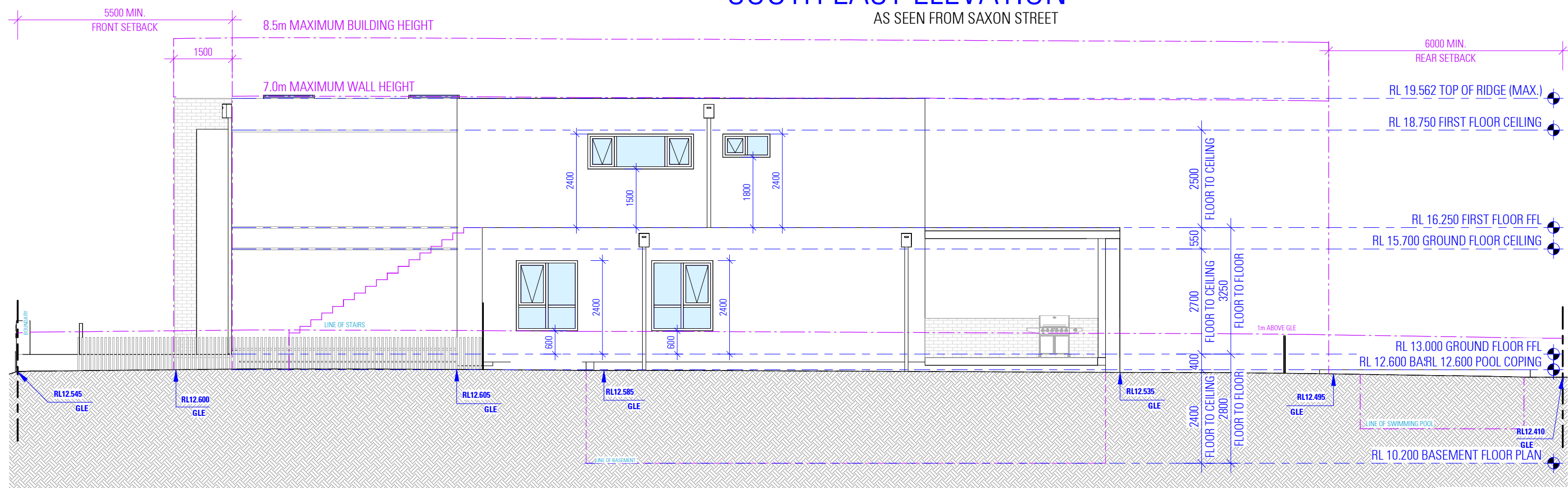
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PROPOSED ROOF PLAN

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AS SEEN FROM SAXON STREET



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NORTH EAST ELEVATION

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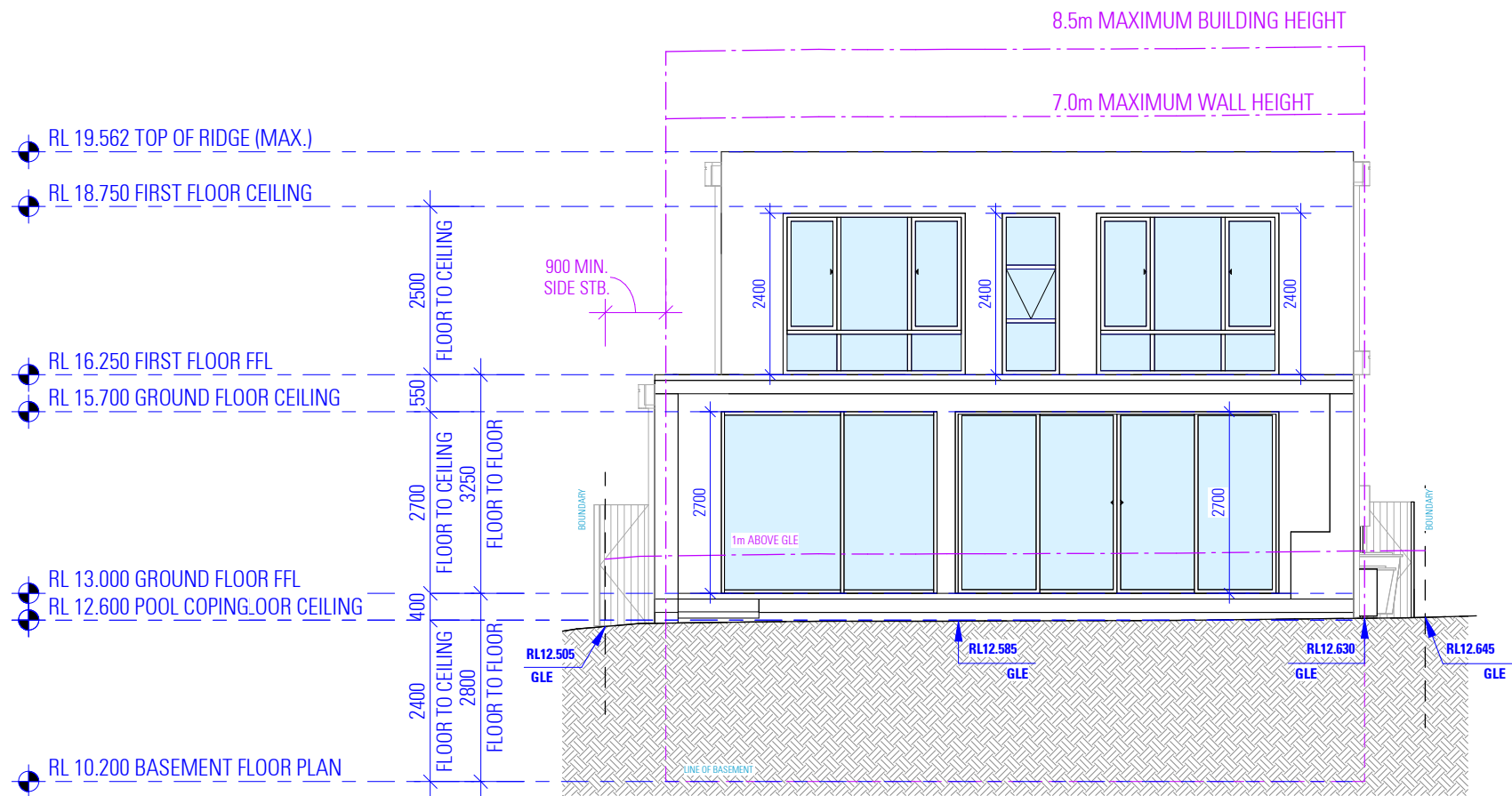
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SOUTH EAST AND NORTH EAST
ELEVATION

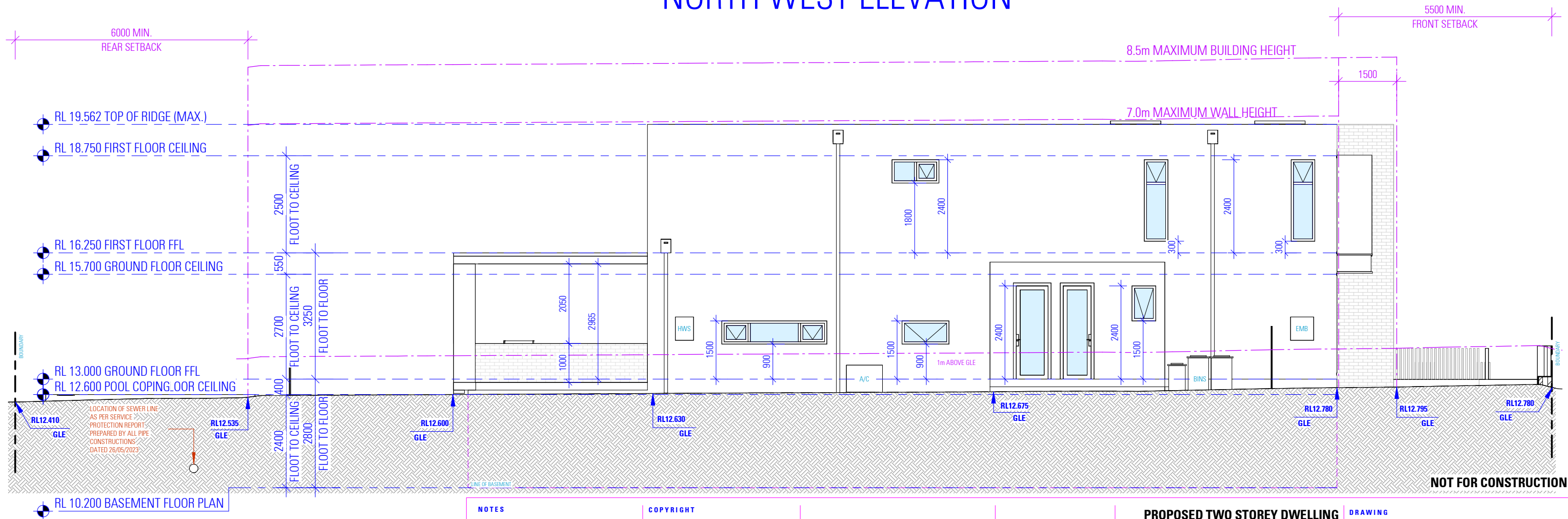
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Accreditation No. DMN/18/1891
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NORTH WEST ELEVATION



SOUTH WEST ELEVATION

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



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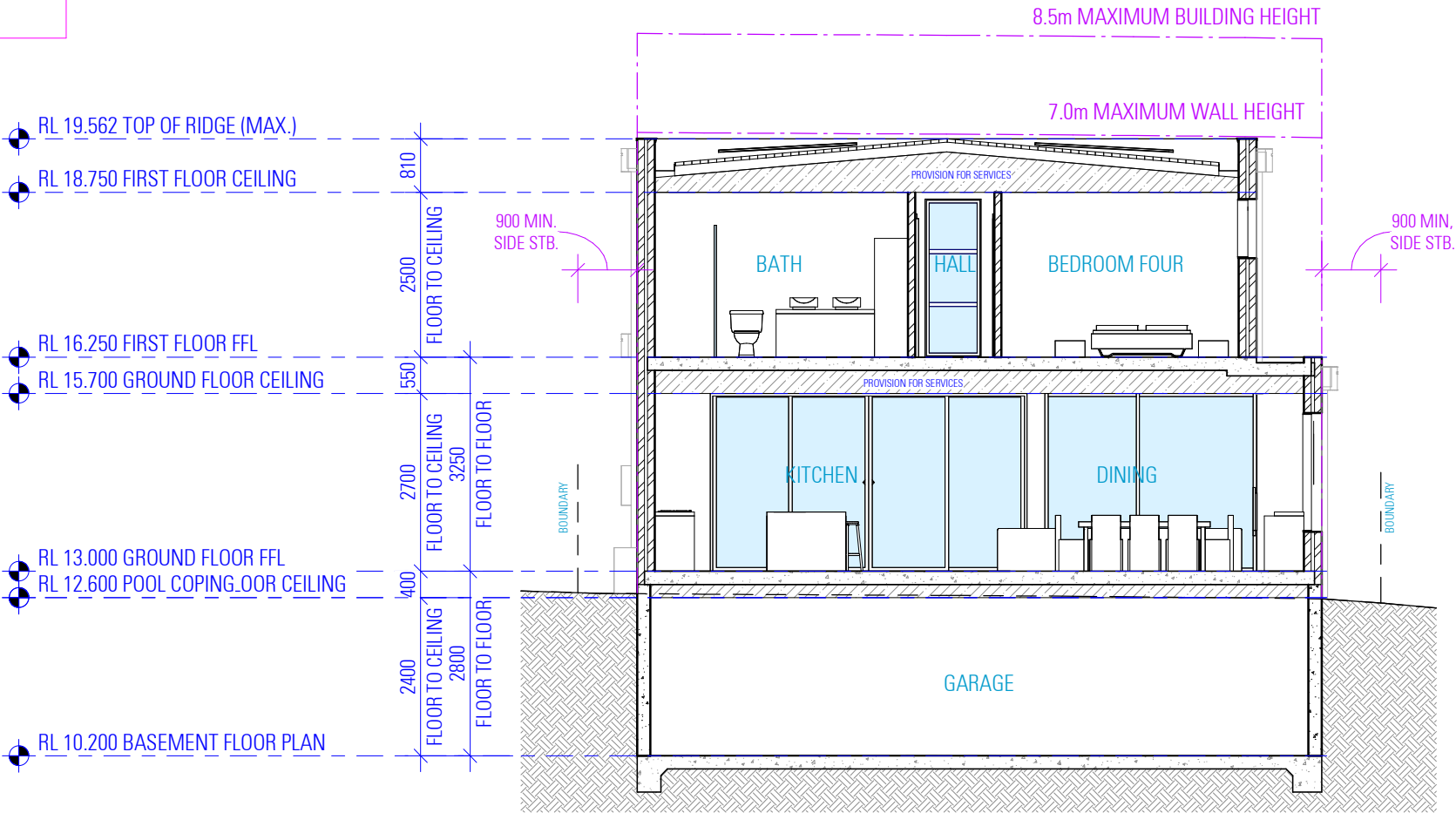
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**NORTH WEST AND SOUTH WEST
ELEVATION**

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WALL SCHEDULE			
270mm CAVITY BRICK  110mm BRICK SKIN 50mm CAVITY 110mm BRICK SKIN	110mm SINGLE BRICK  110mm BRICK SKIN	200mm DINCEL WALL  200mm DINCEL	150mm DINCEL WALL  150mm DINCEL
NOTES 1. THIS SCHEDULE DETAILS MAIN WALL COMPONENTS ONLY AND THE MEASUREMENTS GIVEN DO NOT INCLUDE RENDER, PLASTER OR THE LIKE. THEY ARE PROVIDED FOR 'CONSTRUCTION' PURPOSES AND SUCH DO NOT REPRESENT THE FINAL WALL THICKNESS. 2. EXISTING WALLS SHOWN SOLID HATCHED. 3. THE ITEMS PROVIDED ABOVE ARE A GENERAL LIST OF WALL TYPES. VERIFY ALL DISCREPANCIES WITH THE DESIGNER BEFORE COMMENCING CONSTRUCTION. 4. REFER TO BASIX CERTIFICATE FOR INSULATION REQUIREMENTS.			



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GENERAL REQUIREMENT SPECIFICATIONS
BUILDING TO BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING WHERE RELEVANT

- EARTHWORKS**
NATIONAL CONSTRUCTION CODE (NCC)
 - EARTHWORKS AND EXCAVATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH BCA 2022 H1D3 AND HOUSING PROVISIONS PART 3.2
- STORM WATER**
 - POWDER COATED ALUMINIUM GUTTERS & DOWNPIPES.
 - REFER TO STORMWATER PLAN FOR ALL SITE DRAINAGE DETAILS AND CALCULATIONS.
- NATIONAL CONSTRUCTION CODE (NCC)**
 - DRAINAGE IS TO BE IN ACCORDANCE WITH BCA 2022 H2D2
 - ROOF, WALL CLADDING, GUTTERS & DOWNPIPES ARE TO COMPLY WITH BCA 2022 H1D7 AND H2D6
- TERMITE PROTECTION**
NATIONAL CONSTRUCTION CODE (NCC)
 - PROTECTION MUST BE IN ACCORDANCE WITH BCA 2022 H1D3 AND ABCB HOUSING PROVISIONS PART 3.4
- FOOTINGS AND SLABS**
 - PROPOSED FOOTINGS TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER
- NATIONAL CONSTRUCTION CODE (NCC)**
 - FOOTINGS AND SLABS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH BCA 2022 H1D4 AND H2D3
- AUSTRALIAN STANDARD (AS)**
 - PILED FOOTINGS ARE TO COMPLY WITH AS 2159-2009
- FLOORING**
 - PROPOSED FLOOR CONSTRUCTION TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER.
- ALL PORCHES, VERANDAHS & THE LIKE TO HAVE A 85mm STEPDOWN FROM INTERNAL AREAS UNLESS NOTED OTHERWISE
- FOR ALL REDUCED LEVELS REFER TO FLOOR PLANS (ENGINEERS DETAILS TO SUPERSEED-CONFIRM WITH DESIGNER)
 - SUB FLOOR VENTILATION IS TO COMPLY WITH BCA 2022 H2D5
- WALLS**
NATIONAL CONSTRUCTION CODE (NCC)
 - STEEL AND TIMBER FRAMING AND STRUCTURAL STEEL SECTIONS ARE TO COMPLY WITH BCA 2022 H1D6
 - MASONRY, MASONRY COMPONENTS AND ACCESSORIES, AND WEATHERPROOFING OF MASONRY ARE TO COMPLY WITH BCA 2022 H1D5 AND H2D4
 - SOUND INSULATION IS TO BE IN ACCORDANCE WITH BCA 2022 H4D8
 - REINFORCED AUTOCLAVED AERATED CONCRETE IS TO COMPLY WITH AS 5146.1-2015
 - CONCRETE - POST-INSTALLED AND CAST-IN FASTENINGS IS TO COMPLY WITH SA TA 101
 - ROOF AND WALL CLADDING ARE TO COMPLY WITH BCA 2022 H2D6
- STRUCTURE**
NATIONAL CONSTRUCTION CODE (NCC)
 - STAIR CONSTRUCTION IS TO COMPLY WITH PART 3.9.1
 - STRUCTURAL DESIGN TO BE IN ACCORDANCE WITH ACCEPTABLE CONSTRUCTION MANUALS AS LISTED IN PART 3.11
 - ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE IS TO COMPLY WITH BCA 2022 H1D11
- EXTERNAL WATERPROOFING**
NATIONAL CONSTRUCTION CODE (NCC)
 - EXTERNAL WATERPROOFING IS TO COMPLY WITH BCA 2022 H2D8
- GLAZING**
 - POWDER COATED ALUMINIUM FRAMED GLASS WINDOWS & DOORS UNLESS NOTED OTHERWISE.
- NATIONAL CONSTRUCTION CODE (NCC)**
 - ALL GLAZING IS TO BE IN ACCORDANCE WITH BCA 2022 H1D8 AND H2D7
- ROOFING**
NATIONAL CONSTRUCTION CODE (NCC)
 - ROOF CLADDING SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.5.1
- AUSTRALIAN STANDARD (AS)**
 - INSTALLATION OF ROOF TILES - AS 2050
 - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING - AS 1562.1
- FIRE**
NATIONAL CONSTRUCTION CODE (NCC)
 - THE FIRE HAZARD PROPERTIES OF MATERIALS ARE TO COMPLY WITH BCA 2022 H3D2
 - FIRE SEPARATION OF EXTERNAL WALLS IS TO COMPLY WITH BCA 2022 H3D3
- FIRE PROTECTION OF SEPARATING WALLS AND FLOORS IS TO COMPLY WITH BCA 2022 H3D4
 - FIRE SEPARATION OF GARAGE-TOP-DWELLINGS IS TO COMPLY WITH BCA 2022 H3D5
 - SMOKE ALARMS AND EVACUATION LIGHTING ARE TO COMPLY WITH BCA 2022 H3D6
- HEALTH & AMENITY**
 - ALL BATHROOM, ENSUITES AND LAUNDRIES TO HAVE FLOOR WASTES AND BE SETDOWN AND WATERPROOFED.
- NATIONAL CONSTRUCTION CODE (NCC)**
 - WET AREAS ARE TO COMPLY WITH BCA 2022 H4D2
 - MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS ARE TO COMPLY WITH BCA 2022 H4D3
 - ROOM HEIGHTS ARE TO COMPLY WITH BCA 2022 H4D4
 - PROVISION OF LIGHT IS TO COMPLY WITH BCA 2022 H4D6
 - PROVISION OF VENTILATION IS TO COMPLY WITH BCA 2022 H4D7
 - SOUND INSULATION IS TO COMPLY WITH BCA 2022 H4D8
 - CONDENSATION MANAGEMENT IS TO COMPLY WITH BCA 2022 H4D9
- SAFE MOVEMENT & ACCESS**
NATIONAL CONSTRUCTION CODE (NCC)
 - STAIRWAY AND RAMP CONSTRUCTION ARE TO COMPLY WITH BCA 2022 H5D2
 - BARRIERS AND HANDRAILS ARE TO COMPLY WITH BCA 2022 H5D3
 - THE WINDOW IS TO BE FITTED WITH EITHER A DEVICE TO RESTRICT THE WINDOW OPENING, OR A SUITABLE SCREEN, SO A 125mm SPHERE CANNOT PASS THROUGH.
 - THE DEVICE OR SCREEN CAN HAVE A CHILD RESISTANT RELEASE MECHANISM (E.G. A KEY LOCK) WHICH CAN ENABLE THE DEVICE OR SCREEN TO BE REMOVED, UNLOCKED OR OVERRIDDEN. (SO FOR EXAMPLE, THE WINDOW CAN BE CLEANED)
 - A BARRIER IS NOT REQUIRED FOR WINDOWS 1.7m OR MORE ABOVE THE FLOOR LEVEL.
- EXTERNAL FINISHES**
 - REFER TO SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES FOR MORE DETAILS.
- NOTES**
 - ALL DIMENSIONS ARE IN MILLIMETERS
 - VERIFY ALL DIMENSIONS ON SITE
 - DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
 - VERIFY ALL DISCREPANCIES WITH THE DESIGNER
 - ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A.) & AUSTRALIAN STANDARDS
- COPYRIGHT**

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-
-
- PROPOSED TWO STOREY DWELLING

38 SAXON STREET
BELFIELD NSW 2191

DESIGN DRAFTED CLARE FAULKNER
IRENA MILOJESKA

BILL MALLOUHI
- DRAWING

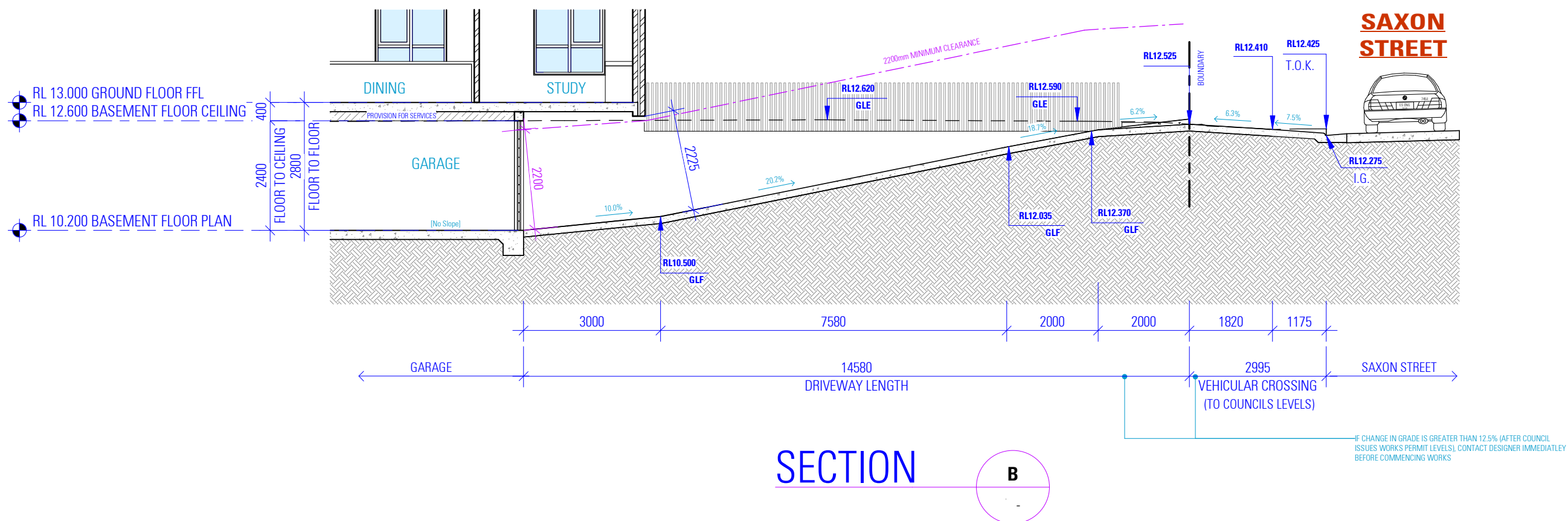
SECTION VIEW

SCALE 1 : 100 / A3
ISSUE A 24.07.2024

DWG No. 22276 - 10



DWG No. 22276 - 11



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38 SAXON STREET
BELFIELD NSW 2191

DRIVEWAY GRADE DETAILS

DESIGN CLARE FAULKNER
DRAFTED IRENA MILOJESKA

BILL MALLOUHI

SCALE 1 : 100 / A3
ISSUE A 24.07.2024

DWG No. 22276 - 12

SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES

- 1

ROCKCOTE RENDER AND PAINT EXTERNAL WALLS
RANGE: CONCRETE EFFECT
OR ACCEPTABLE EQUIVALENT
- 2

ALUMINIUM HOOD AND SLATS
COLOUR: MONUMENT
OR ACCEPTABLE EQUIVALENT
- 3

STONE CLAD EXTERNAL BLADE WALL
HONED BLUESTONE OR SIMILAR
- 4

FRAMELESS GLASS BALUSTRADING
- 5

FOLDED ALUMINIUM CHANNEL
COLOUR: MONUMENT
- 6

POWDER-COATED ALUMINIUM WINDOWS AND GLASS DOORS
COLOUR: MONUMENT
OR ACCEPTABLE EQUIVALENT
- 7

AXYLOTYL METAL EFFECT ENTRY DOOR
OR ACCEPTABLE EQUIVALENT
- 8

ALUMINIUM SLATS
COLOUR: MONUMENT
OR ACCEPTABLE EQUIVALENT
- 9

ROCKCOTE RENDER AND PAINT EXTERNAL WALLS
RANGE: DULUX
COLOUR: GREY
OR ACCEPTABLE EQUIVALENT



AS SEEN FROM SAXON STREET

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PROPOSED TWO STOREY DWELLING

38 SAXON STREET
BELFIELD NSW 2191

DESIGN
DRAFTED

CLARE FAULKNER
IRENA MILOJESKA

BILL MALLOUHI

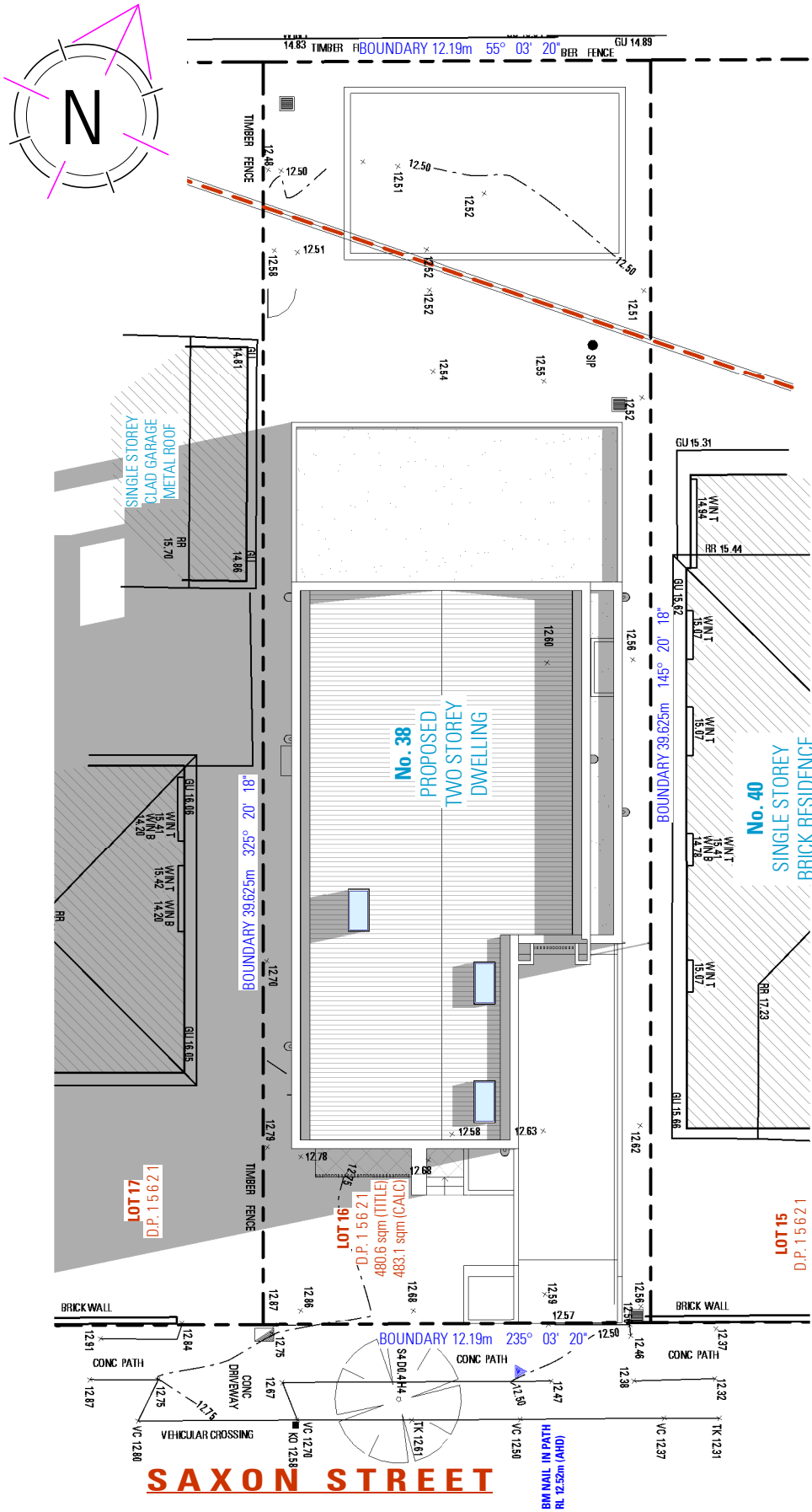
DRAWING

SCHEDULE OF EXTERNAL MATERIALS,
COLOURS AND FINISHES

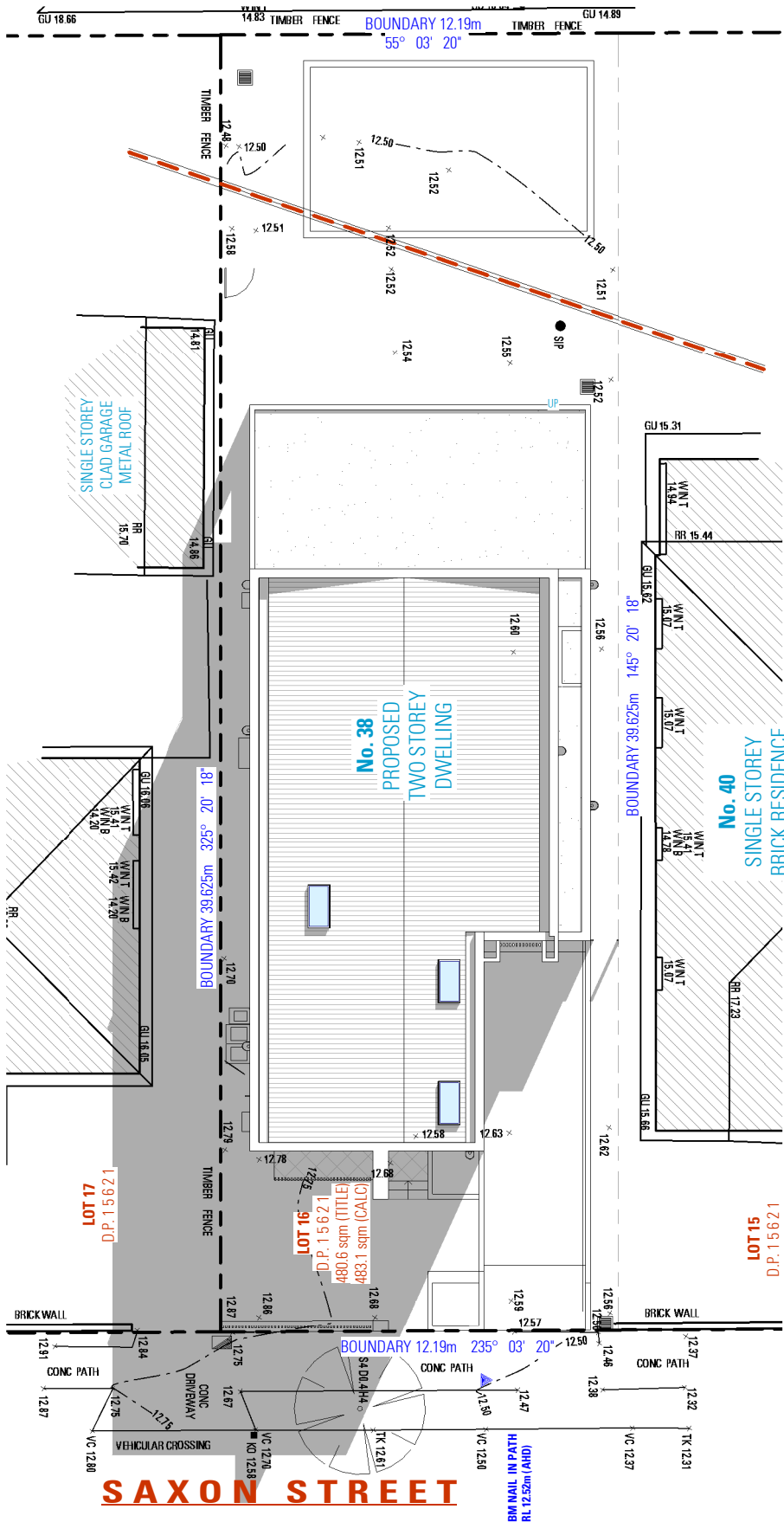
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ISSUE / A3
A 24.07.2024

DWG No. 22276 - 13

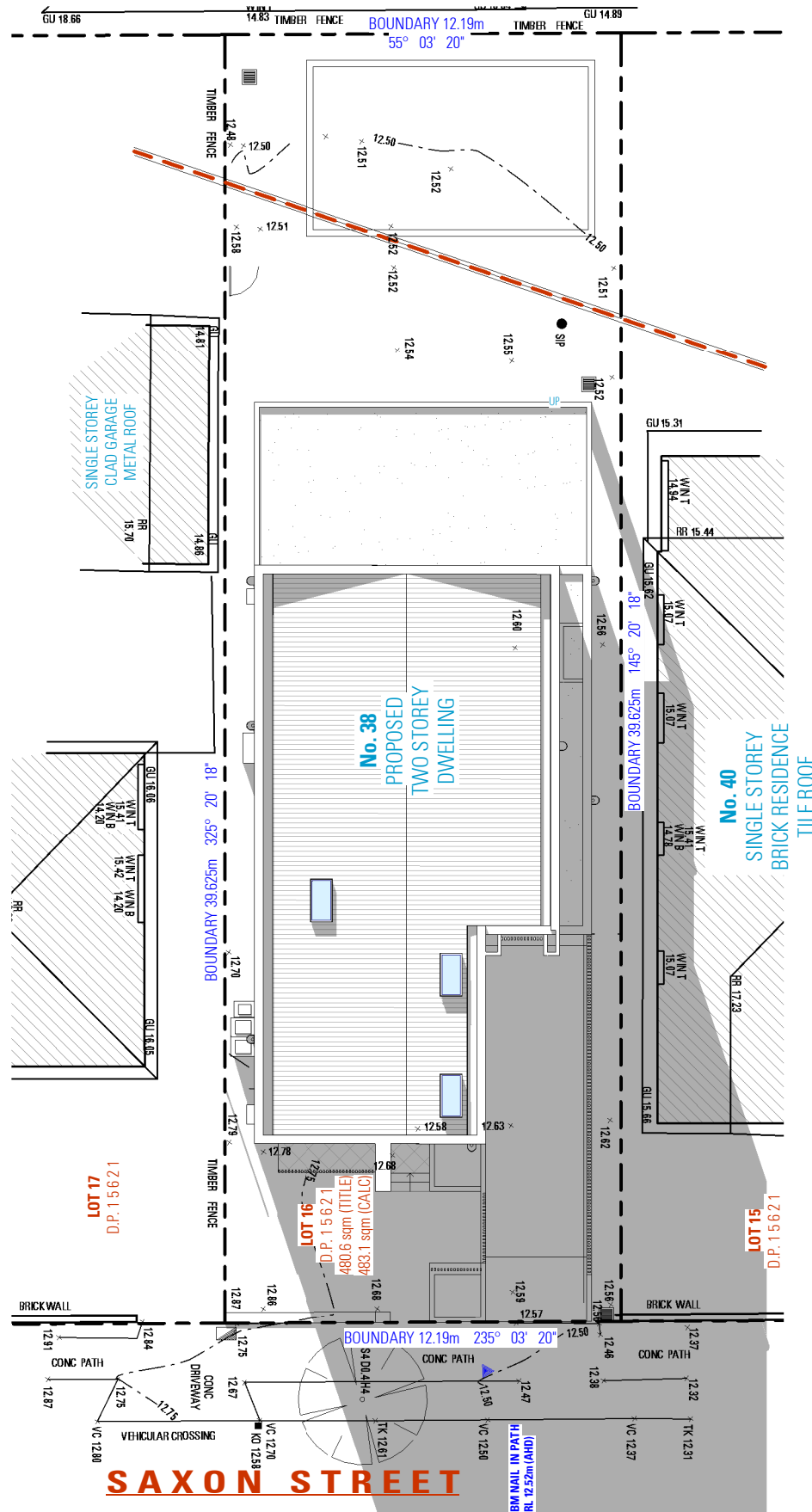
SHADOW DIAGRAMS - 21st JUNE



SHADOW DIAGRAM 8AM



SHADOW DIAGRAM 12PM



SHADOW DIAGRAM 4PM

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PROPOSED TWO STOREY DWELLING

38 SAXON STREET
BELFIELD NSW 2191

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DRAFTED IRENA MILOJESKA

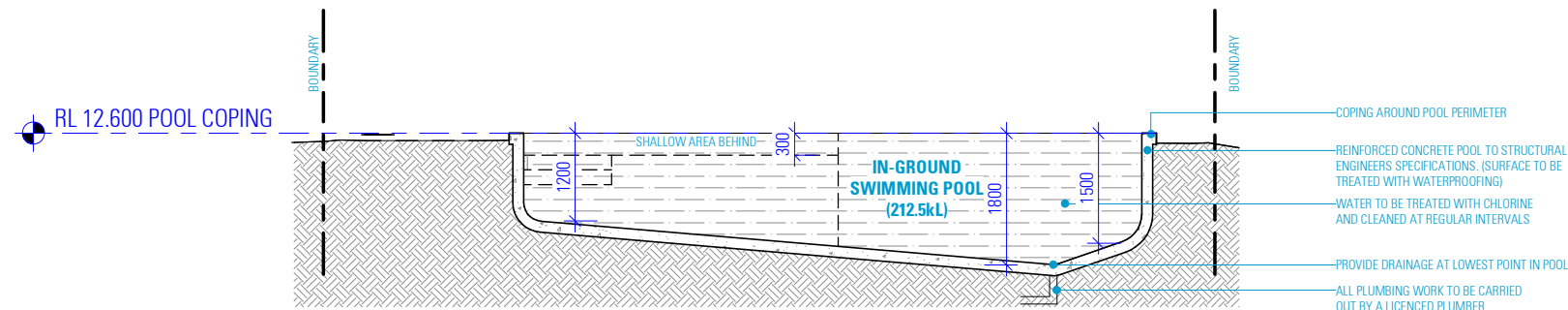
BILL MALLOUHI

DRAWING

SHADOW DIAGRAMS - 21st JUNE

SCALE 1 : 200 / A3
ISSUE A 24.07.2024

DWG No. 22276 - 14

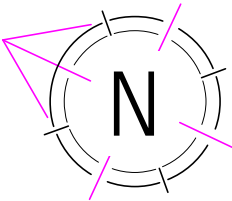


SECTION

DWG No. 22276 - 15

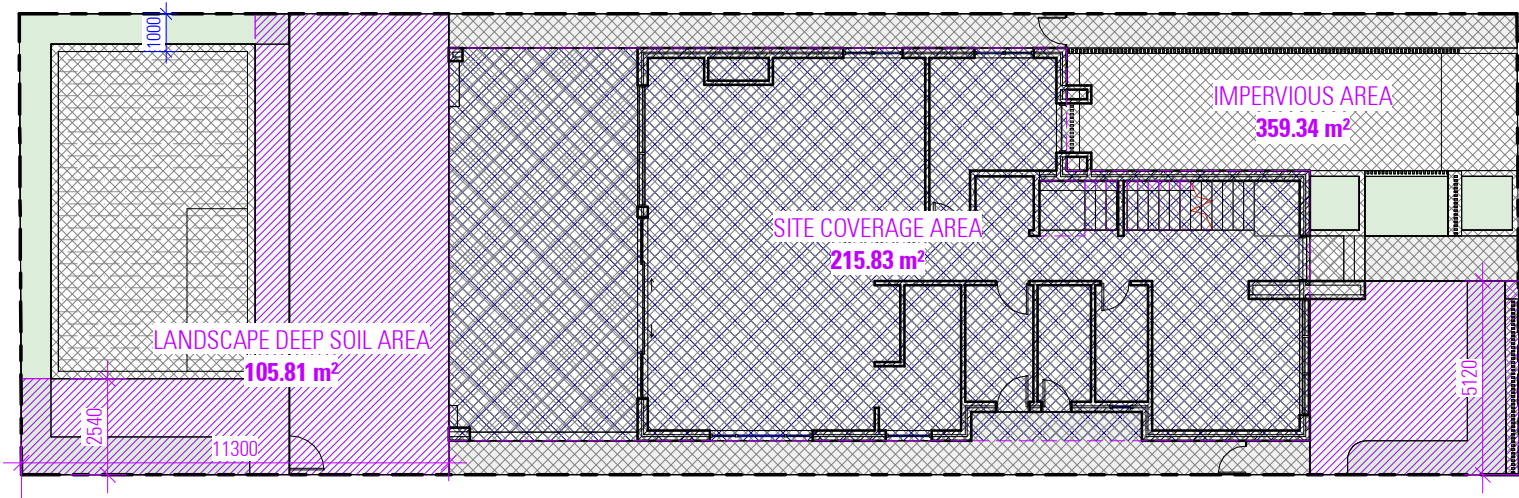
- AN APPROPRIATE RESUSCITATION WARNING SIGN (AVAILABLE FROM COUNCIL OR THE ROYAL LIFE SAVING SOCIETY) IS DISPLAYED IN A PROMINANT POSITION IN THE IMMEDIATE VICINITY OF THE POOL AREA.

NOT FOR CONSTRUCTION



- NOTES:**
- REFER TO LANDSCAPE PLAN FOR DETAILS
 - REFER TO STORMWATER PLAN FOR STORMWATER DETAILS / SEDIMENT AND EROSION CONTROL PLAN
 - REFER TO STRUCTURAL PLAN FOR RETAINING WALL DETAILS
 - REFER TO STORMWATER PLAN AND BASIX REPORT FOR RAINWATER TANK DETAILS
 - ALL BOUNDARY FENCING TO BE MAINTAINED OR CONSTRUCTED AT A HEIGHT OF 1800mm ABOVE NGL

SITE CALCULATIONS	
SITE AREA	483.1 sqm
GROUND FLOOR AREA	131.24sqm
FIRST FLOOR AREA	115.76sqm
TOTAL FLOOR AREA	247.00sqm
FLOOR SPACE RATIO	0.51:1
MAX FLOOR SPACE RATIO	0.55:1
SITE COVERAGE	215.83 sqm
MAX SITE COVERAGE (50%)	241.55sqm
IMPERVIOUS AREA	338.43sqm
DEEP SOIL AREA	105.81sqm
MIN DEEP SOIL AREA 20%	96.62sqm



LANDSCAPE AREA CALCULATION PLAN

NOT FOR CONSTRUCTION

- NOTES**
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PROPOSED TWO STOREY DWELLING

38 SAXON STREET
BELFIELD NSW 2191

DESIGN CLARE FAULKNER
DRAFTED IRENA MILOJESKA

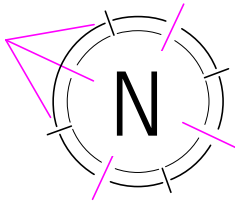
BILL MALLOUHI

DRAWING

LANDSCAPE AREA CALCULATION SHEET

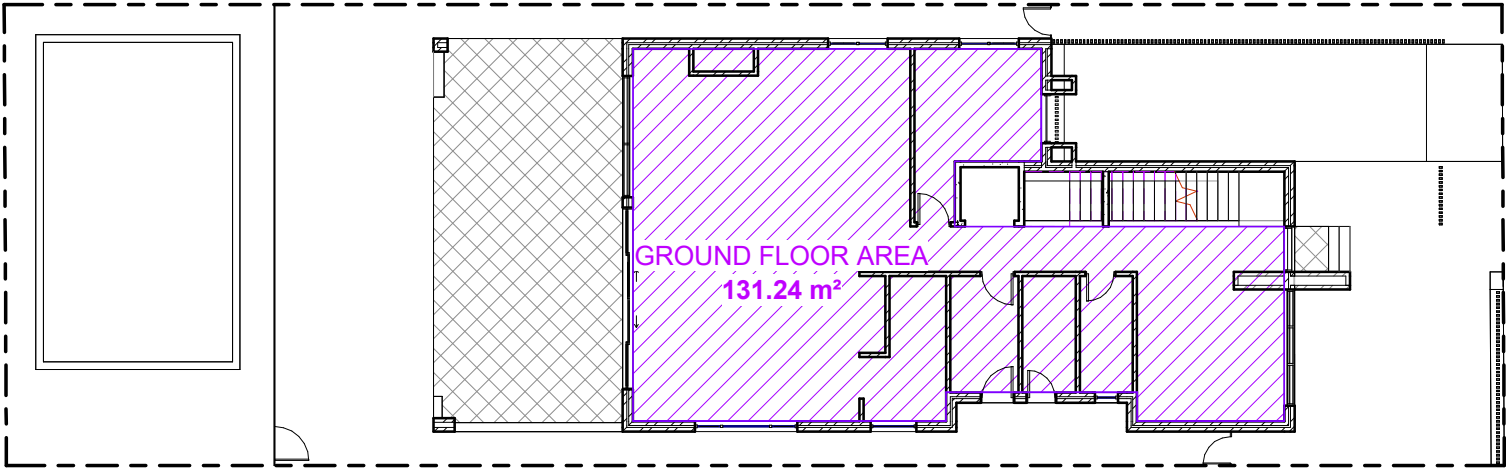
SCALE 1 : 200 / A3
ISSUE A 24.07.2024

DWG No. 22276 - 16

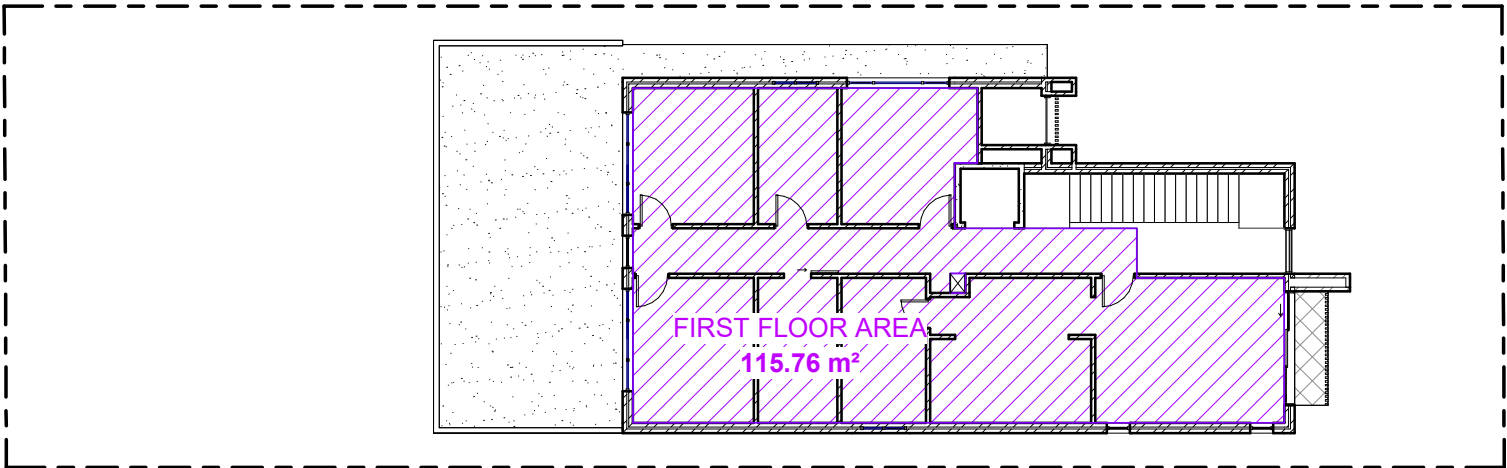


- NOTES:**
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 - REFER TO STORMWATER PLAN FOR STORMWATER DETAILS / SEDIMENT AND EROSION CONTROL PLAN
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 - ALL BOUNDARY FENCING TO BE MAINTAINED OR CONSTRUCTED AT A HEIGHT OF 1800mm ABOVE NGL

SITE CALCULATIONS	
SITE AREA	483.1 sqm
GROUND FLOOR AREA	131.24sqm
FIRST FLOOR AREA	115.76sqm
TOTAL FLOOR AREA	247.00sqm
FLOOR SPACE RATIO	0.51:1
MAX FLOOR SPACE RATIO	0.55:1
SITE COVERAGE	215.83 sqm
MAX SITE COVERAGE (50%)	241.55sqm
IMPERVIOUS AREA	338.43sqm
DEEP SOIL AREA	105.81sqm
MIN DEEP SOIL AREA 20%	96.62sqm



GROUND FLOOR GFA



FIRST FLOOR GFA

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PROPOSED TWO STOREY DWELLING

38 SAXON STREET
BELFIELD NSW 2191

DESIGN CLARE FAULKNER
DRAFTED IRENA MILOJESKA

BILL MALLOUHI

DRAWING

GROSS FLOOR AREA CALCULATION
SHEET

SCALE 1 : 200 / A3
ISSUE A 24.07.2024

DWG No. 22276 - 17



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PROPOSED TWO STOREY DWELLING

DESIGN CLARE FAULKNER
DRAFTED IRENA MILOJESKA

38 SAXON STREET
BELFIELD NSW 2191

BILL MALLOUHI

DRAWING

3D VIEWS

SCALE / A3
ISSUE A 24.07.2024

DWG No. 22276 - 18

BASIX COMMITMENTS

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au
Single Dwelling

Certificate number: 17549995

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 09 July 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary			
Project name	3E_sax		
Street address	38 SAXON STREET BELFIELD 2191		
Local Government Area	Canterbury-Bankstown Council		
Plan type and plan number	Deposited Plan 15621		
Lot no.	16		
Section no.	--		
Project type	dwelling house (detached)		
No. of bedrooms	4		
Project score			
Water	✓ 42		Target 40
Thermal Performance	✓ Pass		Target Pass
Energy	✓ 84		Target 72
Materials	✓ -67		Target n/a

Certificate Prepared by	
Name / Company Name: Noure Al Hazout	
ABN (if applicable): 80873398711	

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.0.0 / EUCAL/PTIUS_03_01_0 Certificate No.: 17549995 Tuesday, 09 July 2024 page 1/10

Description of project

Project address		Assessor details and thermal loads	
Project name	3E_sax	Assessor number	DMN191891
Street address	38 SAXON STREET BELFIELD 2191	Certificate number	800816087
Local Government Area	Canterbury-Bankstown Council	Climate zone	9b
Plan type and plan number	Deposited Plan 15621	Area adjusted cooling load (MJ/m ² /year)	8
Lot no.	16	Area adjusted heating load (MJ/m ² /year)	21
Section no.	--		
Project type			
Project type	dwelling house (detached)		
No. of bedrooms	4		
Site details			
Site area (m ²)	485		
Roof area (m ²)	165		
Conditioned floor area (m ²)	292.8		
Unconditioned floor area (m ²)	25.1		
Total area of garden and lawn (m ²)	105		
Roof area of the existing dwelling (m ²)	0		

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Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
Features			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rain-water tank of at least 2000 litres on the site. This rain-water tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 60 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold-water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
• a tap that is located within 10 metres of the swimming pool in the development		✓	✓

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Water Commitments	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
Swimming Pool			
The swimming pool must not have a volume greater than 65 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	

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Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate or complying development certificate, if applicable, all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate or complying development certificate, if applicable, the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

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Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓
Construction			
Area - m ²			
floor - concrete slab on ground, conventional slab	56	expanding foam	
garage floor - concrete slab on ground	182.3	expanding foam	
external wall - cavity brick, frame, no frame	197.8	60 frame composite board	
external wall - concrete block/plateboard, frame, no frame		none	
external garage wall - concrete block/plateboard, frame, no frame	20	none	
internal wall - single skin masonry, frame, no frame	24	none	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - r/c treated eave/roof	165	ceiling - rockwool batts, roll or pump-in; roof - foliaking, timber - r/c treated eave/roof	

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Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓
Frames			
Maximum area - m ²			
aluminium	80.8		
timber	0		
uPVC	0		
steel	0		
composite	0		
Glazing			
Maximum area - m ²			
single	6.7		
double	75.2		
triple	0		

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.0.0 / EUCAL/PTIUS_03_01_0 Certificate No.: 17549995 Tuesday, 09 July 2024 page 7/10

Energy Commitments	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted. Energy rating: 3.5 star (average zone).		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted. Energy rating: 3.5 star (average zone).		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted. Energy rating: 3.5 star (average zone).		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted. Energy rating: 3.5 star (average zone).		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to facade or roof. Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

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Energy Commitments	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 4 bathroom(s)/bath(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The development must not incorporate any heating system for the swimming pool.		✓	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: single speed with a performance of 2 stars.		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of:			
• photovoltaic collectors with the capacity to generate at least 1 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CCDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate or complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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NOT FOR CONSTRUCTION

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A.) & AUSTRALIAN STANDARDS

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BASIX COMMITMENTS

SCALE
ISSUE
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